

PROVIDENCE SQUARE

MASTER DEVELOPMENT PLAN AND DESIGN STANDARDS

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PROVIDENCE SQUARE

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1. INTRODUCTION

1.1 Concept

The Providence Square Master Development Plan and Design Standards (Development Plan) shall reflect the objectives set forth in the Planned Development (PD) District as required by Las Vegas Municipal Code §19.06.050.

- 1.1.1 The intent of the PD District is to permit and encourage comprehensively planned developments whose purpose is redevelopment, economic development, cultural enrichment, or to provide a single-purpose or multi-use planned development. The reclassification of property to the PD District may be deemed appropriate if the development proposed for the District can accomplish the goals as stated in the Ordinance mentioned above. The Providence Development Plan meets all the goals and objects of Section 19.06.050 of the Las Vegas Municipal Code.

1.2 Purpose

- 1.2.1 The Development Plan will direct the actions of all entities, developers and individual business owners. The criteria contained in this document are binding on any person, or entity, which intends to construct, reconstruct or modify any permanent or temporary improvement within the Providence Square Master Development Plan area. The enforcement of the Standards will ensure quality, visual continuity and consistency in design, as well as protection of property values.

1.3 Project Location

The Development Plan encompasses six parcels totaling approximately 23.6 acres bounded by Deer Springs Way to the north, the Bruce Woodbury Beltway to the south, Hualapai Way to the west and Conquistador Street to the east, as depicted in Figure 1.

1.4 Relationship to Other Documents

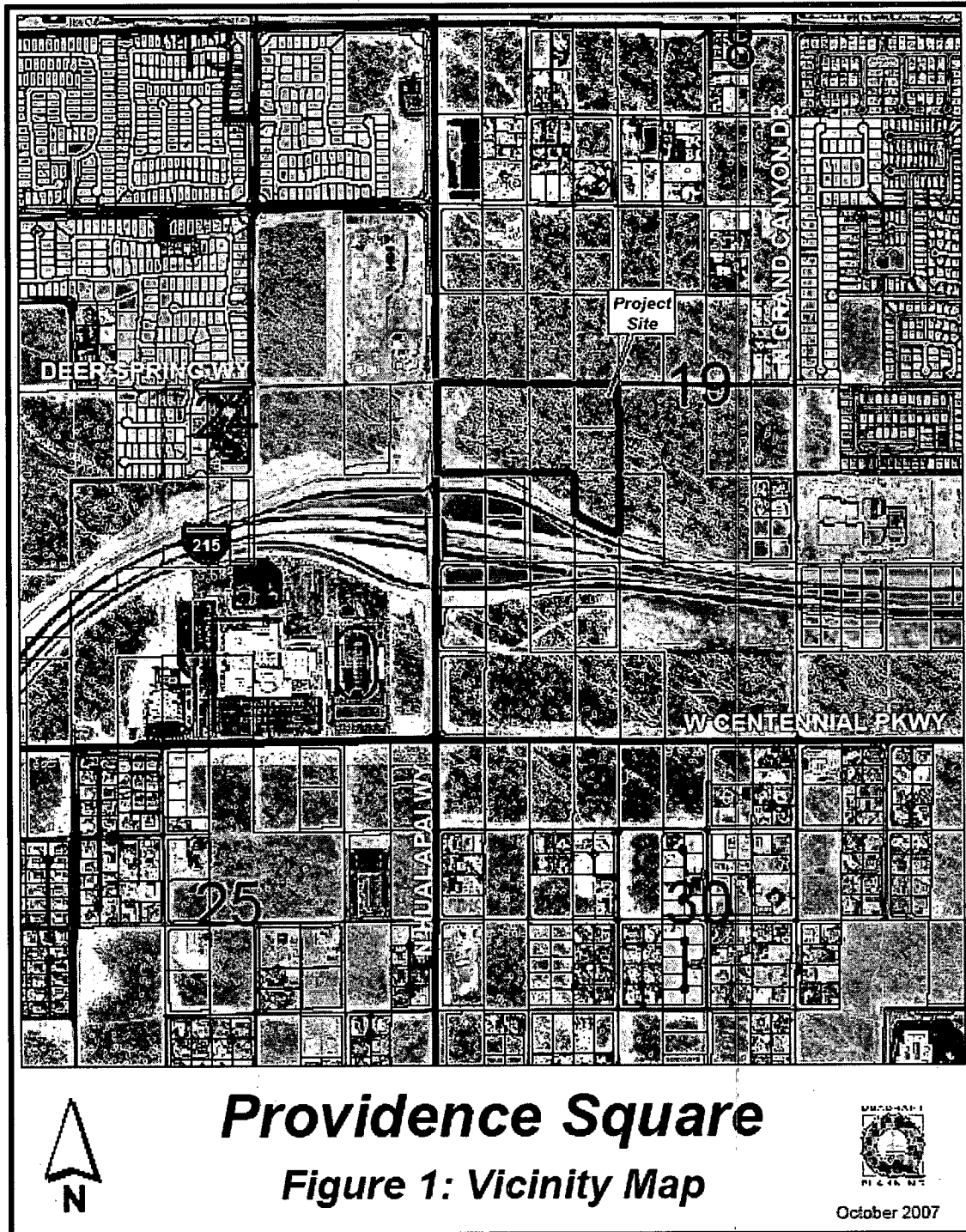
- 1.4.1 The Development Plan is the primary document for use by all entities undertaking any improvements. Las Vegas Municipal Code Title is to be used whenever this document is silent on an issue.

1.5 Project Compliance

- 1.5.1 All development shall comply with the adopted Development Plan as well as all other applicable regulations in the city, county, state, and federal jurisdictions.

1.6 Modifications

- 1.6.1 The property owner or designated representative shall meet the Director of Planning and Development to discuss the scope of any proposed modification to the Plan. The Director shall determine if the modification is a minor or major modification and what course of action the property owner shall follow.



FILE: P:\GIS\Projects\Focus\Conversions\215 & Hospital/Providence Square/Providence Square Figure 1

2. LAND USE

2.1 Purpose

The purpose of this section is to identify the land uses permitted within Providence Square.

2.2 Development Parcel

DEVELOPMENT PARCEL

Phase	Development Parcel	Land Use	Total Acres
1	A	Neighborhood Commercial	23.6
Totals:			23.6

2.3 Land Use Designation

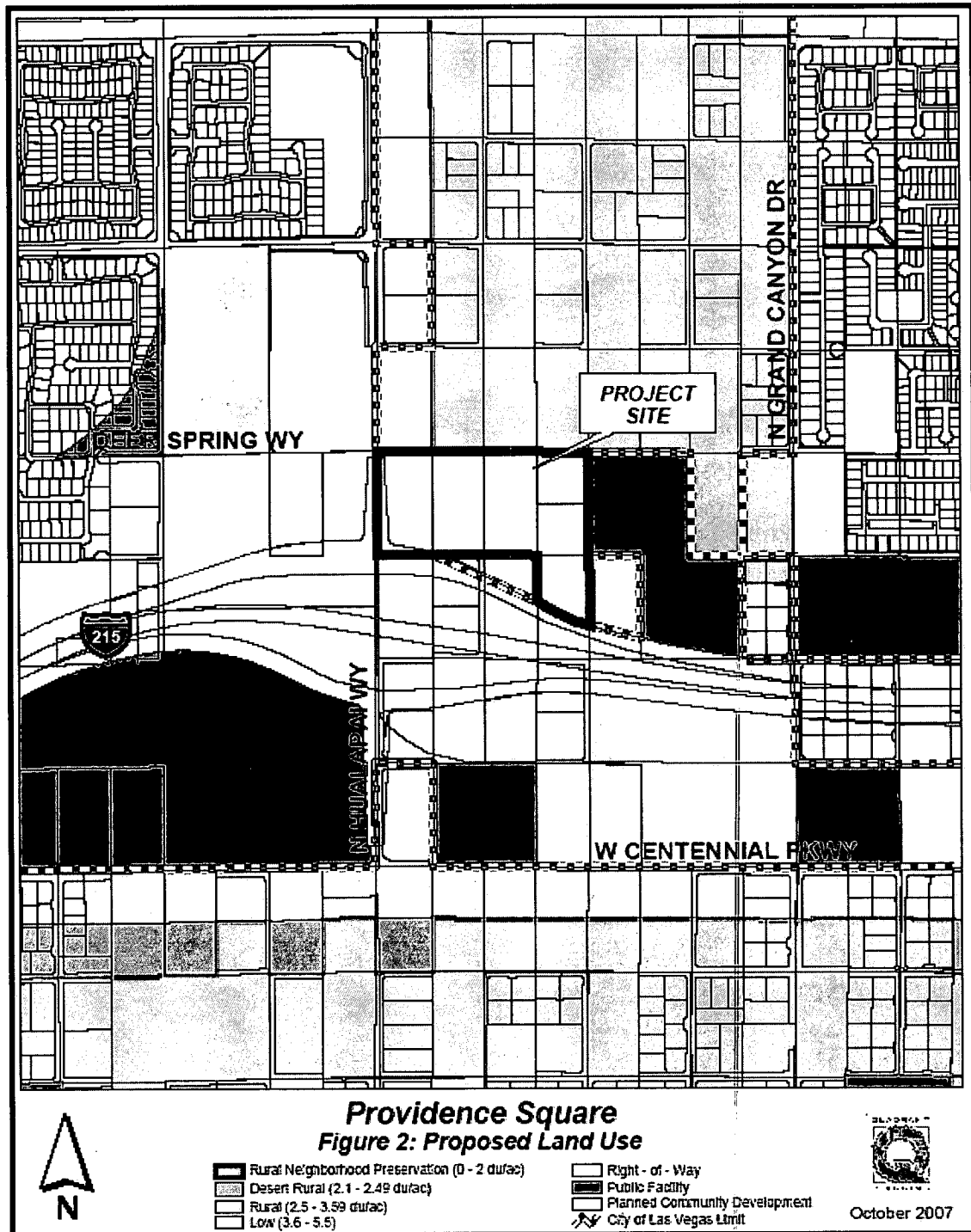
The Development Plan area shall be comprised of a mixture of commercial uses permitted within the Neighborhood Commercial land use category.

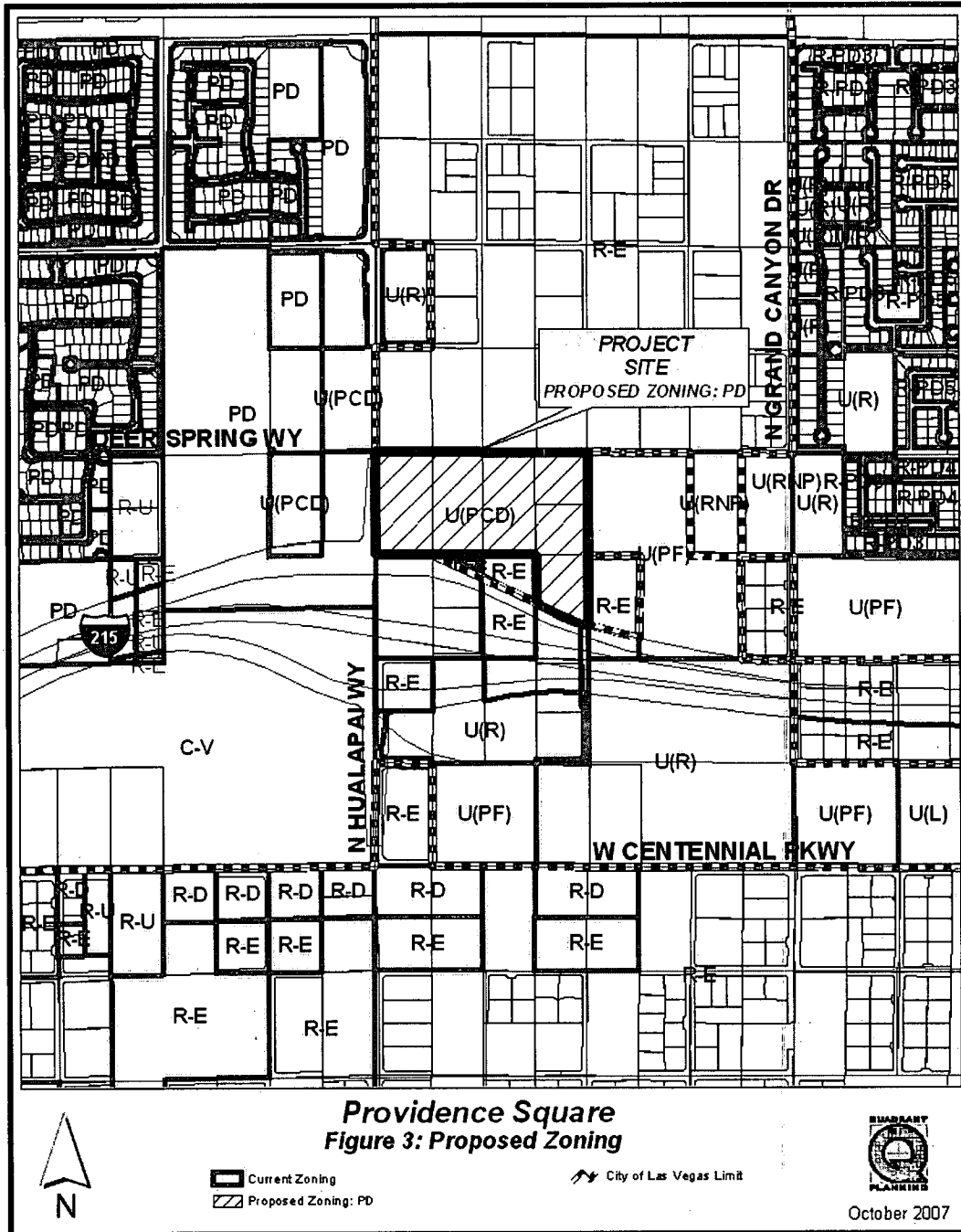
2.3.1 Zoning

Providence Square will be zoned PD (Planned Development) in accordance with Chapters 19.06 and 19.18 of the City of Las Vegas Municipal Code (see Figure 3 for existing and proposed zoning in the project area)

2.4 Providence Square Master Development Plan

The acreage included in the Development Plan was designated Planned Community Development (PCD) by the Las Vegas City Council on June 6, 2007, as shown in Figure 2.





FILE: P350 Project/Hour Commercial/2156 Hualapai/Providence Square/Providence Square Figure 3 u2

2.4.1 Traffic Study

A traffic impact analysis for the Providence Square Planned Development has been submitted to the City of Las Vegas and must be approved prior to the issuance of any permits or recordation of any Final Maps anywhere within this site. This project will developed in accordance with the mitigation measure identified in the approved study

2.4.2 Drainage Study

A drainage study for the overall 23.6 acres covered by this plan shall be submitted to and approved by the Department of Public Works prior to the issuance of any permits or recordation of any Final Maps anywhere within this site. The drainage study shall identify necessary drainage infrastructure improvements within the proposed Planned Development area and shall propose an implementation program for the construction of such required improvements, including a phasing plan identifying appropriate milestones that will trigger the timely construction thereof.

2.4.3 Water Service

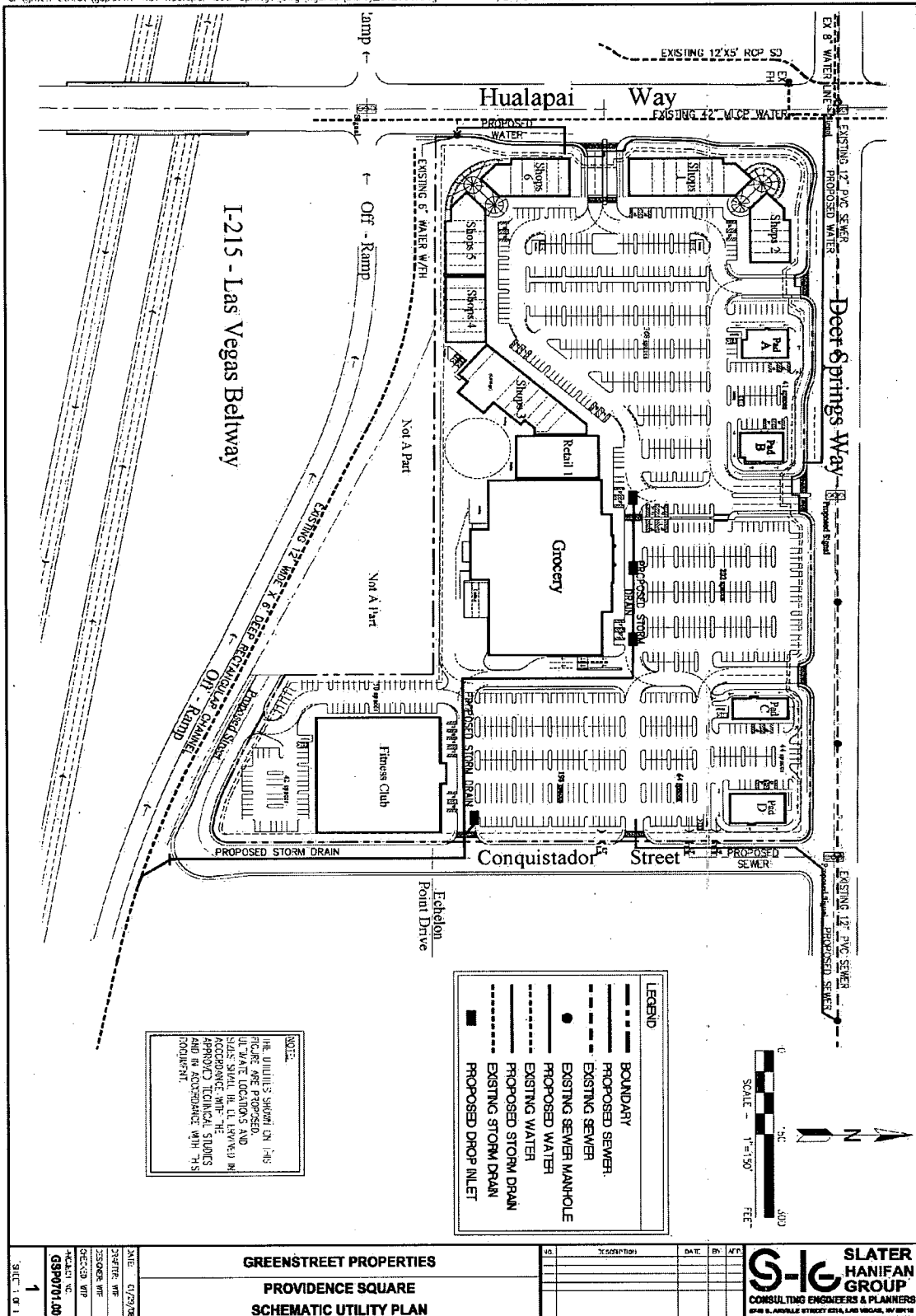
The Las Vegas Valley Water District (LVVWD) currently provides service to the 2975 pressure zone in which the project is located. There is an existing 42 inch main in Hualapai Way. See Figure 4 for the location of the line as well proposed water lines.

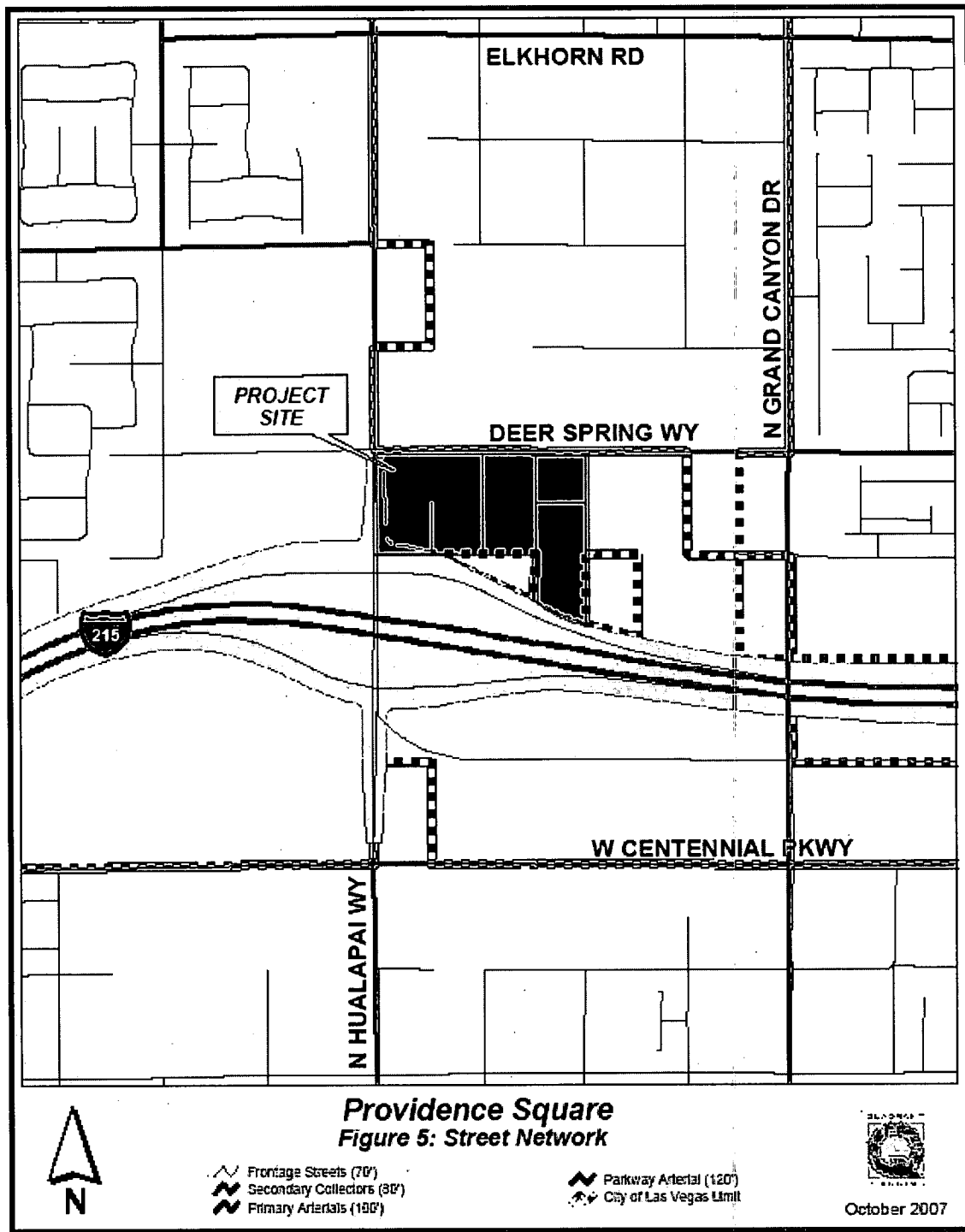
2.4.4 Sewer Service

Sewer service to the project will be from an existing 12 inch line in Deer Springs Way. See Figure 4 for a schematic. The Collection Systems Planning section of the Department of Public Works shall review and approve all public sewer design prior to the issuance of any permits

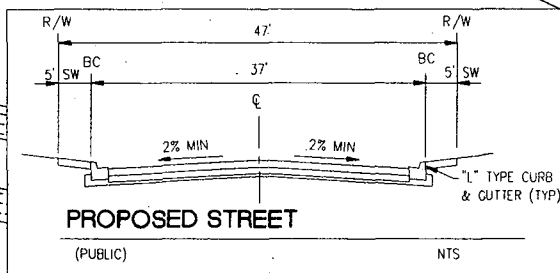
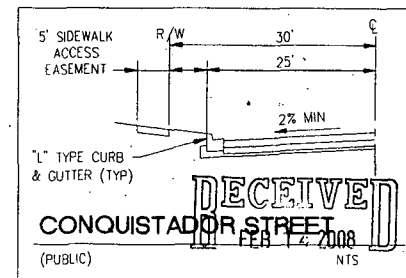
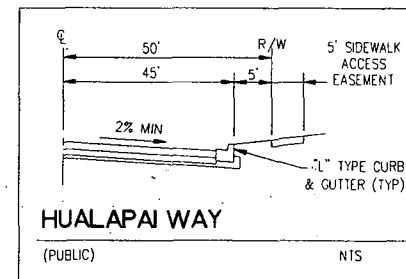
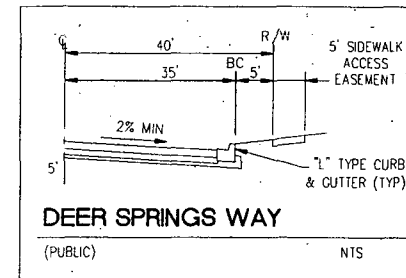
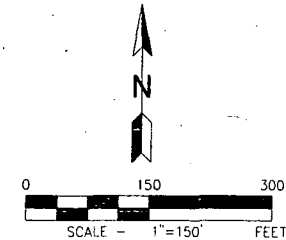
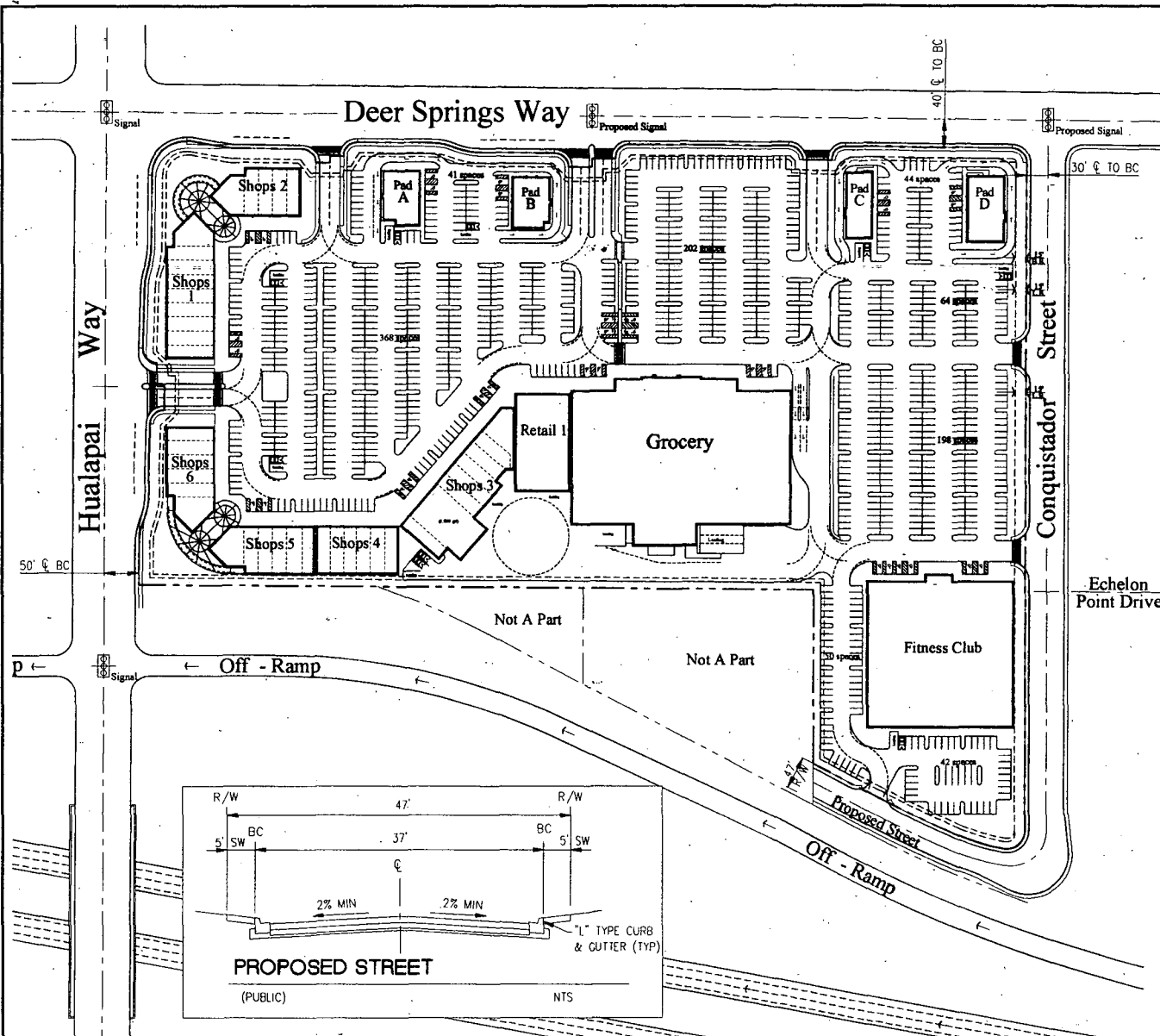
2.4.5 Access

Access to the planning area will be from Hualapai Way, Deer Springs Way, Conquistador Street and Echelon Point Drive. See Figure 5 for project area street network and Figure 6 for site specific street network and cross-sections.





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SLATER HANIFAN GROUP
CONSULTING ENGINEERS & PLANNERS
200 S. ANAPLE STREET, SUITE 100, LAKESIDE, NY 11943

DATE	BY	APP
DESCRIPTION		

GREENSTREET PROPERTIES
PROVIDENCE SQUARE
RIGHT OF WAY EXHIBIT

DATE: 01/29/08
DRAFTER: WTP
DESIGNER: WTP
CHECKED: WTP
PROJECT NO.
GSP0701.001

3. USES

3.1 Permissible Uses

Buildings, structures and land used for commercial purposes shall be developed and operated in accordance with the uses permitted in the following Permissible Use Schedule.

No use, type of development or development standard is presumptively permitted within the PD District unless it already has been included in the adopted plan for the District.

PERMISSIBLE USE SCHEDULE

Uses*

Adult Day Care	P
Animal Hospital	SUP
Assisted Living Apartments	SUP
Auto Parts (New and Rebuilt – Accessory Sales and Service)	SUP
Auto Title Loan	X
Auto Repair Garage, Minor	SUP
Auto Smog Check	SUP
Automobile Rental	X
Banquet Facility	P
Bail Bond Service	X
Beer/Wine/Cooler Off-Sale Establishment**	SUP
Beer/Wine/Cooler On and Off Sale Establishment**	SUP
Beer/Wine/Cooler On-Sale Establishment*	SUP
Billiard Parlor or Pool Hall	P
Building & Landscape Material/Lumber Yard	SUP
Business School	P
Car Wash, Full Service or Auto Detailing	SUP
Catering Service	P
Check Cashing Service	X
Child Care Center	P
Church/House of Worship	P
Clinic	P
College/University/seminary	SUP
Commercial Recreation/Amusement (Indoor)	P
Convalescent Care/Nursing Home	SUP
Copy Center	P
Custom Craft Work	SUP
Desktop Publishing	P
Dry Cleaner	P
Electrical, Watch, Clock Jewelry & Similar Repair	P
Employment Agency	P
Escort Bureau	X
Financial Institution, General	P
Gaming Establishment, Restricted	SUP
Gaming Establishment, Unrestricted	X
General Personal Service	P
General Retail Store, Other Than Listed	P
Government Facilities	SUP
Health Club	P
Hospitals	SUP
Hotel, Motel, or Hotel Suites	SUP
Jewelry Store, New	P
Laboratory, Medical and Dental	P
Library	P

See Section 19.04 of the Las Vegas Municipal Code for definition of Uses.

** Distance separations listed in the Las Vegas Municipal Code shall apply.

P=Permitted X=Use Prohibited SUP=Special Use Permit TCP=Temporary Commercial Permit
C=Conditional Use (Permitted with Conditions; see Las Vegas Municipal Code for conditions)

PERMISSIBLE USE SCHEDULE (CON'T.)

Uses*

Motor Vehicle Sales New or Used	X
Mausoleum/Cemetery	X
Massage Establishment	SUP
Mini-Storage Facility	SUP
Mortuary or Funeral Home	X
Museum or Art Gallery	P
Night Club	SUP
Office, Other than Listed	P
Office, Medical or Dental	P
Package Liquor Off-Sale Establishment**	SUP
Pawn Shop	X
Pet Shop	C
Plant Nursery/Garden Supply	P
Playground/Public Park	P
Postal Services	P
Psychology Practice	P
Public Utility Buildings and Structure	SUP
Public/Quasi-Public/Institutional Building and Uses	SUP
Recreational Vehicle and Boat Storage	SUP
Recording Studio	SUP
Rental Store (without Outside Storage)	P
Restaurant with or without drive through	P
Restaurant with Service Bar*	SUP
Retail Establishment with Accessory package Liquor Off-Sale**	SUP
Seasonal Sales (Christmas Trees, pumpkins, etc.)	TCP
Secondhand Dealer	SUP
Service Station (without Automotive Repair)	C
Shopping Center	P
Single Family Residential up to 2 Dwelling Units per Acre	P
Social Event with Alcoholic Beverage Sales	SUP
Supper Club**	SUP
Swap Meet	SUP
Tattoo Parlor	X
Tavern**	X
Thrift Shop	SUP
Training Center	SUP
Time Share Development, Hotel, Residence	X
Wireless Communications Facilities; stealth	C
Wireless Communications Facilities; non-stealth design	SUP

* See Section 19.04 of the Las Vegas Municipal Code for definition of Uses.

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Site Planning Guidelines

In addition to providing for the immediate retail needs of surrounding area residents and visitors to Providence Square, this commercial center should serve as a community “gathering place”, through the use of pedestrian friendly features that encourage shoppers to stop and linger while enjoying a cup of coffee, reading the newspaper, or interacting with their neighbors in a pleasant environment.

Such spaces will be created through the use of shaded plazas and courtyards, trees, umbrellas, fountains, seating areas with tables, benches and chairs, interesting details and textures such as special paving, lighting fixtures, banners and flags, etc.

4.1 DEVELOPMENT STANDARDS

SETBACK CRITERIA

• From Primary Arterial to Building	20'
• From Secondary Collector to Building	15'
• From Adjacent Parcel Property Line to Building	10'
• From Primary Arterial to Parking	10'
• From Secondary Collector to Parking	6'
• From Adjacent Parcel Property Line to Parking	6'

SITE COVERAGE

Maximum building coverage	50%
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PARKING

Number of parking spaces required	1/250 square feet, except for those uses specifically listed in the Las Vegas Municipal Code, Section 19.04.10. Handicapped parking shall be in accordance with Section 19.10 of the Las Vegas Municipal Code
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MAXIMUM HEIGHT

Buildings with Providence Square shall be subject to the residential adjacency standards set forth in the Las Vegas Municipal Code Section 19.08.060 only where the project is adjacent to property developed for the sale of residential dwelling units.	50' on a gabled, hipped or gambrel roof, measured to the average height level between the eaves and ridge line
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OPEN SPACE

15%

4.1.1 Drive-through

Each drive-through service window shall have a stacking lane that accommodates at least 6 cars per lane measure from pick up window.

Providence Square

4.2 Site Elements

4.2.1 Service Areas

Service and loading zones shall be located to the rear, side or in an internal location where visibility from public rights-of-way and views from neighboring buildings and properties will be minimized. Service and loading areas shall be screened by the uses of walls or dense landscaping, or both, that will serve as both a visual barrier and a noise barrier. Walls shall be architecturally integrated into the design of the development. All loading and servicing must occur entirely onsite; off-site service vehicle loading shall not be permitted.

Utility equipment and communication devices located on the ground must also be screened with landscape, decorative walls or other architectural elements in accordance with the materials listed in Section 4.3.3. Architectural screening devices shall use materials and finishes consistent with those of the adjacent buildings and storage areas.

All outdoor areas of refuse collection must be contained by a solid perimeter wall with an opaque metal gate and covered with a trellis structure in accordance figure 7. Refuse collection areas shall be designed to contain all refuse generated on-site and deposited between collections. Refuse receptacles may require compaction or self-sanitizing devices depending on the type and quantity of refuse generated by the occupants and use of the site. All refuse areas are to be kept clean, dry and free of odor. All "wet-type" refuse containers shall be designed to prevent leakage of liquids onto the property. The number and size for individual service areas shall be evaluated per building type and site at the time of Site Development Plan Review.

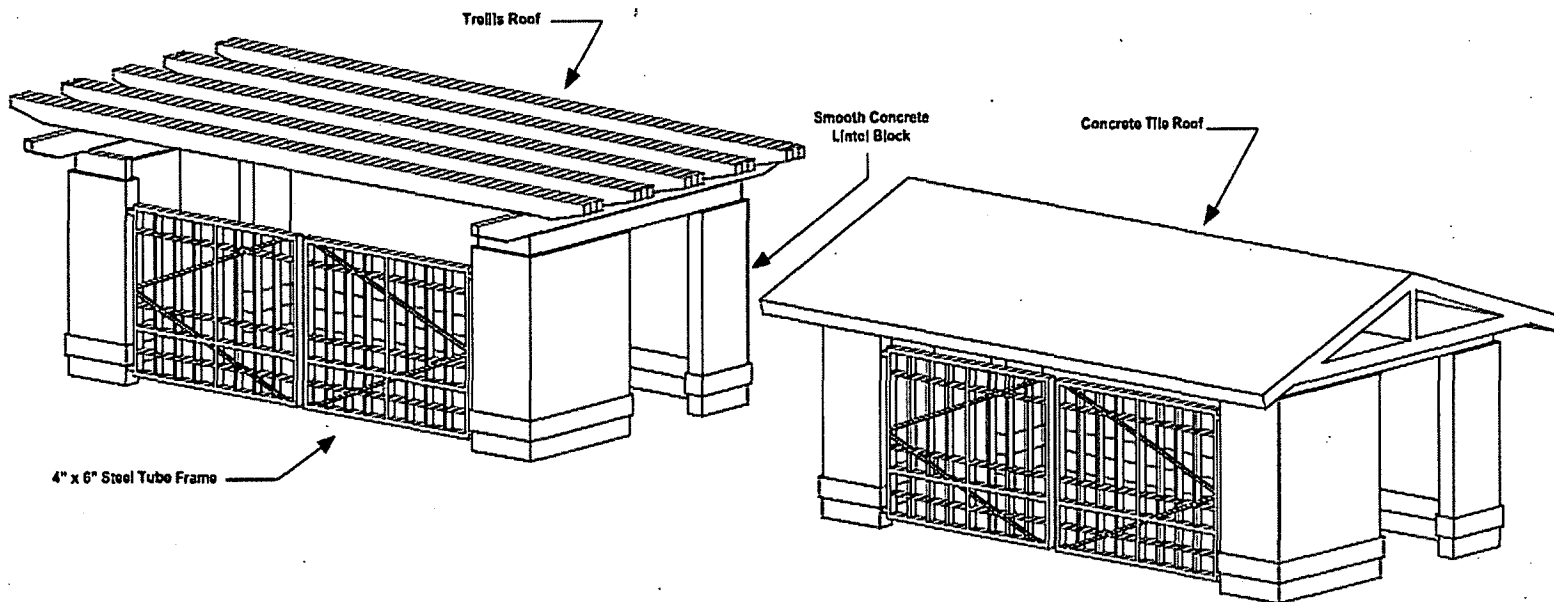
4.2.2 Site Utilities And Electrical Equipment

Along streets that border a residential subdivision, all utility boxes and above-ground utility installations, other than utility poles, that are in excess of twenty-seven cubic feet in size and that are to be placed back of the sidewalk shall be installed with landscaping on two side, with one side being available for access by utility companies. The landscaping must include tall grasses and shrubbery which, at maturity, will provide adequate screening of the utility structures.

Along streets that border nonresidential development, all utility boxes and aboveground utility installations, other than utility poles, that are in excess of twenty-seven cubic feet in size (excluding pad and concrete collars) shall be set back a sufficient distance so that a minimum of three feet of landscaping separates the utility structure from the public street right-of-way or sidewalk, whichever is nearer to the structure. The landscaping must include tall grasses and shrubbery which at maturity will provide adequate screening of the utility structures. In

addition, all utility boxes shall be placed so that the access doors open parallel to the street corridor and are accessible without the need to cut down or reduce the effectiveness of the landscaped screening.

All utility boxes and above ground utility installations shall be located outside of site visibility restriction zones at site driveways and abutting street intersections.



Permissible Garbage Enclosure

Figure 7

4.2.3 Site Mechanical Equipment

All exterior components of heating, cooling and ventilation systems shall be hidden from view within the lot or from adjoining streets, lots and buildings. In the case of roof mounted mechanical equipment, building parapets shall be of such a height that roof mounted screening devices are not required. If building parapets do not provide the required screening, mechanical equipment shall be screened by an unobtrusive screening device that will appear as an integral part of the overall architectural design, constructed of complementary and durable materials and finished in a texture and color scheme complementary to the overall architectural design, subject to the review at time of Site Development Plan Review.

4.2.4 Grading and Drainage

Site grading shall provide adequate storm water run-off capability. Drainage systems shall be designed in accordance with an approved engineering and hydrology study so as to maintain all-weather vehicular access on public streets, drives and in parking areas. Finish floor elevations shall be set according to applicable federal and local flood requirements. Site grading design should cause all water to drain away from buildings and shall complement and reinforce the architectural and landscape design character by helping to screen parking, loading and services areas while providing reasonable grade transitions contributing to the efficiency of on-site and off-site movement systems. Grade transition between lots shall be smooth. When grading is in public view, smooth slope transitions between grade changes shall be created. Retaining walls, garden walls and other such site features constructed immediately adjacent to or connecting with a building, must be constructed of a material that visually matches the exterior building or that is an integral material in the landscape. Individual retaining walls shall not exceed 6 feet in height. Grade changes that require retaining walls in excess of 8 feet must be terraced with a minimum three-foot separation between each wall. All retaining walls, however, must be shown on plans at time of Site Development Plan Review.

4.2.5 Perimeter Walls

Decorative perimeter walls shall be constructed of materials approved at time of Site Development Plan Review. In addition, freestanding walls shall be designed as an integral part of the architecture, complementing color, form and material of adjacent building and shall not abruptly encounter concrete curbs or sidewalk. No chain link or extensions or additions at the top of any perimeter walls shall be permitted. Walls shall not exceed 8 feet in height measured from side of greatest vertical exposure.

4.2.6 Sidewalks

Sidewalk size and location shall be installed in accordance with Section 19.12 and 18.12.390 of the City of Las Vegas Municipal Code with one exception. Perimeter sidewalks adjacent to right-of-way widths of 80 feet and greater shall be separated from the back of the street curb by a minimum of five feet of landscaped buffer area except adjacent to bus turn outs and right turn lanes.

4.3 BUILDING STANDARDS

4.3.1 BUILDING FORM AND MASS

Building forms shall be simple and well-proportioned resulting in a balanced composition of elements. A layering of planes and volumes shall provide a rhythm of dynamic building shadows. Free-standing structures should maintain these principles of form as well, in order to complement rather than unduly contrast with adjacent buildings. Proper attention should be given to the detail of building caps, providing shadow lines suggestive of a cornice element where appropriate to the architectural style of the building.

4.3.2 BUILDING HEIGHT

Building heights should be varied to provide visual interest to Providence Square. Tower elements or other prominent building features should be used to accentuate key elements such as building entries, pedestrian nodes, plazas or courtyards.

4.3.3 BUILDING MATERIALS

A unified appearance shall be accomplished through a consistent palette of materials used throughout a project. Painted stucco surfaces shall be of a light sand or smooth finish. All stucco surface finishes shall be subject to review and approval at time of Site Development Plan Review prior to construction. Accent materials should also be used to introduce a variety of textures and scales.

Acceptable building materials are as follows:

- Painted stucco walls
- Split face C.M.U.
- Honed C.M.U.
- Concrete Roof Tile
- Slate, Stone or Brick Accents
- Painted Metal (accent material)
- Glazing, Glass (see note)
- Metal Roof

- Metal Canopies/Trellis
- Pre-finished Siding Boards
- Tile Accents

Note: Lightly tinted or “Low-e” glass is acceptable and advisable. Mirrored and metallic tints are prohibited.

4.3.4 ROOF FORM

Roof form and materials must be integrated with the overall character of the development. Although most of the roof area of commercial buildings may be flat, visible elements should be treated with sloped roof elements, including hips or gable forms to provide articulation and visual interest to the roofscape when viewed from eye level.

Roof materials include concrete tile and metal. Flat roof must include parapets to screen mechanical equipment.

4.3.5 EXTERIOR SPACES

The local climate provides a comfortable outdoor environment for much of the year. Therefore, it is expected that usable exterior spaces will be part of the design of each building (patios, courtyards, terraces, etc.). Pedestrian walkways should be of a material and pattern that will enhance the building design, as well as prevent cracks and breakage. Covered areas should be provided as sun shading for both people and structures. These may be extensions of the building, free-standing elements or landscaping (awnings, trellises, canopies, trees etc.).

4.4 LIGHTING

The following lighting standards have been developed to ensure that lighting shall provide safety while appropriately illuminating any given space within the project, whether it be automobile parking, pedestrian walkway, outdoor activity, service area or otherwise. Lighting will be of a level adequate to provide ease of circulation throughout the site during the evening hours for both auto and pedestrian traffic. Architectural lighting of the landscape, walks, buildings, signage and other pedestrian oriented features is intended to be incandescent, warm tone color and of a low foot-candle level.

4.4.1 ILLUMINATION CRITERIA FOR PUBLIC PLACES

Foot candle levels shall conform to the City of Las Vegas lighting codes and shall be applied to all public streets, parking lots or walkways throughout the development to ensure a consistent pattern for safety and illumination.

4.4.2 LIGHTING STANDARDS

Lighting Hierarchy

There is a basic hierarchy of lighting intended for this project. Higher lighting levels, taller light standards and the use of metal halide shall be permitted within parking lots (not to exceed 30'). Internal drives shall be lined by shorter light standards (not to exceed 20') and architectural, accent light standards shall be used around entry signage (not to exceed 16').

Nuisance Lighting

Light sources in one place shall not become a nuisance for adjacent areas. All fixtures shall be glare shielded, low angle cut-off and shall contain the minimum foot-candle power or wattage that is needed to illuminate the target areas only. Lighting in any one place may not intrude into another in such fashion as to diminish the intent or mood of the lighting in that other place.

Fixtures

All architectural light fixtures and standards (bollard, sconces or otherwise) shall be of a consistent character within the project. Furthermore, site lighting elements shall be used to provide visual accent and drama, reinforcing the architectural design concepts.

4.4.3 SECURITY LIGHTING FOR BUILDING EXTERIORS

Large area floodlights or standard dawn to dusk lights are not permitted. Spotlights highlighting areas may not be mounted above 15' from ground level (from the base of the fixture) and must be pointed towards the ground. Roof mounted spotlights are not permitted. Ground mounted spotlights or floodlights may be used providing they point toward the building and do not spill over into adjacent areas; cut-off shielding must be installed when necessary. All entrances and exits shall be illuminated to the required foot-candle requirement specified by current codes and requirements; entrances may be highlighted with architectural accent lighting.

4.4.4 PARKING LOT LIGHTING

The maximum height of parking lot light fixtures, measured from the base of the light standard to the top of the standard or fixture, shall not exceed 30' above ground level, measured from finished grade or finished pavement at the base of the light standard. Illumination shall be directed away from adjoining properties and shall be arranged and controlled so as not to cause a nuisance to Highway traffic or surrounding uses.

4.5 LANDSCAPE STANDARDS

The objective of the landscape architectural design criteria is to establish a pleasant and attractive landscape framework for the development, while reinforcing the overall project image. This framework will help provide design continuity and establish an identifiable visual character that enhances the development image and value of the project.

4.5.1 SAFETY

Locate plant material to ensure no visual encroachment into safe traffic sight lines while maintaining visibility of signage. Plant litter, overhanging branches, thorns, etc., must be held to a minimum and shall maintain a minimum vertical clearance of 15' between the street surface and overhanging trees. All landscapingshall comply with AASHTO site distances and safety guidelines.

4.5.2 GENERAL LANDSCAPE AREAS

General landscape areas are those outdoor spaces within the project that are not specifically related to parking lots. They include parcel entries, pedestrian plazas, landscaped areas around buildings, and perimeter buffer areas. Guidelines for each type of area are listed below.

Parcel landscape will be accentuated with dense, cohesive planting schemes that form an attractive landscape statement. The planting theme can be informal or formal, but emphasis should be on strong groupings of similar plants rather than on many different species used in small quantities. Use of colorful plantings or flowering groundcovers, shrubs and/or trees is strongly encouraged.

Pedestrian Plazas

Pedestrian plazas will be improved with plants that are colorful, fragrant and enhance user comfort, such as shade trees and evergreen buffers that block the wind or screen undesirable views. Plaza areas will be further defined with high quality site amenities, such as special paving, site furnishings, low water use fountains, seat walls, bollards, etc.

Landscape Areas Around Buildings

All land not covered by structures or developed as parking shall be landscape with a minimum of 12% total landscape coverage of the site. Hardscape may be included within this coverage provided that it reinforces the landscape theme. Of this 12% landscape coverage requirement, a maximum of 33% may be in the form of non-organic material and hardscape. All proposed plans must be submitted to, reviewed and approved at the time of Site Development Plan Review

Perimeter Buffer Areas

Perimeter landscape buffering shall conform to the commercial buffering requirements set forth in Section 19.12 of the Las Vegas Municipal Code with the exception of landscape strips adjacent to bus turn outs and right turn lanes or any other instance where additional right of way dedication is required by the City of Las Vegas. In these instances, the width of the landscaping strip may be reduced.

4.5.3 PARKING LOTS

Use of large conical shaped trees is required within parking lots and around its perimeter to maximize shading of automobiles without obstructing views to signage. Planting fingers and medians shall be planted in accordance with Figure 8.

4.5.4 LANDSCAPE GRADING AND DRAINAGE

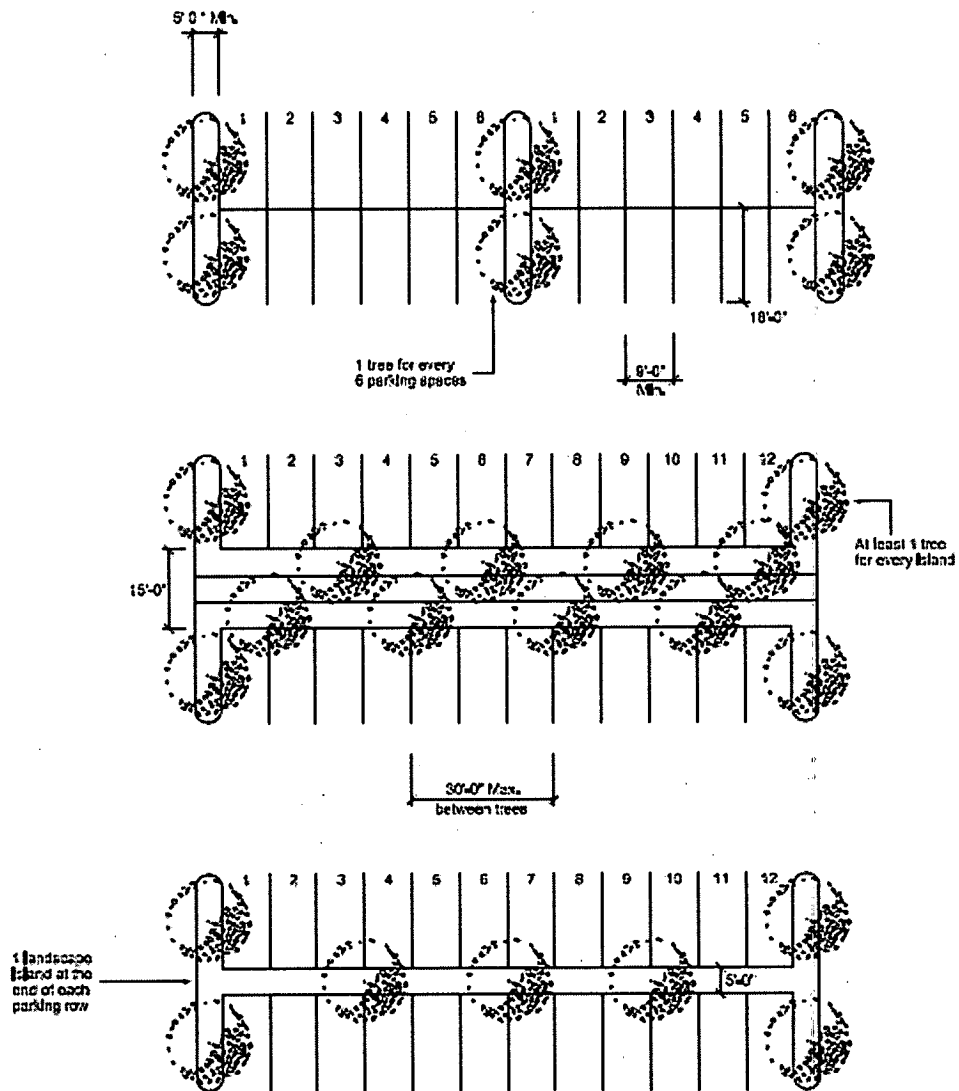
The following guidelines shall be employed in the preparation of grading and drainage plans:

- Minimize the visual impact of grading for drainage by keeping slopes to a minimum
- Maximize aesthetic berming in order to add depth to the landscape with relief of flatness
- Create smooth transitions between parcel development and the street and adjacent parcels.
- Use planting and retaining walls to minimize the visual impact of grading.

Maximum and minimum slopes in planting areas are as follows:

- Shrub and groundcover areas: Max 3:1 min 1.5% for positive drainage

All grading and drainage work must be done in accordance with the Storm Drainage Standards of the City of Las Vegas and with the approved hydrology and site engineering plans.



Parking Lot Landscape Planting Alternatives

Figure 8

4.5.5 LANDSCAPE AREA SPECIFICATIONS

Unless otherwise stated, the minimum plant sizes are as follows:

- Groundcover 1 Gallon
- Shrubs 5 Gallons
- Trees 36" Box

The relationship of plant height, width and caliper to the container size shall meet the latest edition of the American Standard for Nursery Stock, released by the American Association of Nurserymen.

Landscape areas shall be maintained in good condition at all times, including regular pruning of trees and shrubs, fertilizing, watering, removal of dead plants or part of plants, replacement of plants and regular removal of debris and trash.

Mineral build up in the soil may be a threat to vigorous growth in certain species of plants. Several samples should be taken from on-site soil locations where planting is proposed for lab analysis and amendment recommendations. Mitigation and amendment recommendations should be followed to ensure sustainable plant growth.

Parcel developers shall select plants from the approved plant palette. Use of plants that are not on the palette is prohibited.

4.5.6 IRRIGATION

All landscape and irrigation improvements are subject to the City of Las Vegas drought ordinance which supercedes any conflicting criteria contained herein.

Design Intent

Automatic irrigation systems are required for all planting areas.

Water Demand

Peak flow demands shall be based on applying peak weekly irrigation requirements in 6 hours (12:00am-6:00am). Design shall be based on available static pressure minus 10% for fluctuations.

Water Application

Areas requiring overhead spray shall be minimized and shall be restricted to turf, gazania, and flower beds. All other areas must use drip irrigation.

Overhead Irrigation

Spray heads next to roadways and walkways must have low angle (10%) nozzles. Large radius rotor heads (25-foot radius or greater) are not allowed abutting roadway or walkway edges.

All spray heads (15-foot radius or less) shall be spaced no further than 45% of the spray diameter to account for area wind conditions. Spacing for large radius rotors (25-foot radius or greater) shall not exceed 50% of the spray diameter

Spray irrigated areas shall be a minimum of 10 feet wide when adjacent to roadways or roadways, and 6 feet wide otherwise.

Overhead irrigation heads may not throw water directly onto any roadway, walkway, or paved surface.

Drip Irrigation

The minimum quantity of emitters per plant shall be in accordance with the following table.

Plant Size	Emitter Volume	Quantity
1 gallon material	1 GPH	1 each
5 gallon material	½-1 GPH	2 each
15 gallon material	2 GPH	3-4 each
24" box material	2 GPH	4-5 each
36" box material	2 GPH	6-7 each
48" box material	2 GPH	7-8 each
54" box material	2 GPH	9-12 each
60" box material	2 GPH	12-16 each

Zoning

Overhead and drip irrigation systems must be zoned for exposure (south and west exposures together, north and east exposures together), topography, and varying water requirements of plant material.

Water Management

All irrigation systems for project common areas shall use solid state electronic, micro-processor controllers capable of a minimum of three operating programs and four start times per program.

4.5.7 SITE AMENITIES

Site amenities include various elements used outdoors to create a unified look of quality and to provide a comfortable setting for outdoor activities. Site amenities used in individual parcels must be visually compatible with the overall project design scheme and with the site architecture. This will help maintain continuity and a high level of quality throughout the development's public and private outdoor settings.

Onsite amenities include, but are not restricted to paving, signs, public phones, trash receptacles, benches, light fixtures, bollards, tree grates, etc. All walks, curbs, handicap access ramps shall conform to all applicable laws, codes and ordinances. Design of walks shall include "highlight" paving textures and colors to match the base palette.

4.5.8 APPROVED PLANT PALETTE

TREES

BOTANICAL NAME	COMMON NAME
Acacia aneura	Mulga Tree
Acacia jenerae	Coonivitta Wattle
Acacia pendula	Weeping Acacia
Acacia salicina	Willow Acacia
Acacia schaffneri	Twisted Acacia
Acacia smallii (farnesiana)	Sweet Acacia
Acacia stenophylla	Shoestring Acacia
Arbotes onedo	Strawberry Tree
Bauhinia congesta	Orchid Tree
Cercidium floridum	Blue Palo Verde
Cercidium hybrid	Palo Verde Hybrid
Cercidium microphyllum	Foothills Palo Verde
Cercidium parkinsonian	Desert Museum Palo Verde
Cercidium praecox	Palo Brea
Chilopsis linearis	Desert Willow
Chilopsis linearis	'Lucretia Hamillon'
Chitalpa tashkentosis	Chitalpa
Cordia boissieri	Texas Olive
Cupressus glabra	Smooth Arizona Cypress
Elcocarpus decipens	Japanese Blueberry
Feijoa sellowiana	Pineapple Guava
BOTANICAL NAME	COMMON NAME
Fraxinus oxycarpa 'Raywood	Raywood Ash
Fraxinus valutina 'Rio Grande'	Fan-Tex Ash
Fraxinus valutina 'Fan West	Fan-West Ash
Olea 'Swan Hill' or 'Wilsonii'	Fruitless Olive
Pinus eldarica	Mondel Pine
Pinus halepensis	Aleppo Pine

<i>Pinus pinea</i>	Stone Pine
<i>Pinus roxburghii</i>	Chir Pine
<i>Pistacia chinensis</i>	Chinese Pistache
<i>Pithecellobium flexicaule</i>	Texas Ebony
<i>Pithecellobium mexicanum</i>	Mexican Ebony
<i>Platanus racemosa</i>	California Sycamore
<i>Prosopis alba</i>	Argentine Mesquite
<i>Prosopis alba</i>	Colorado Mesquite
<i>Prosopis chilensis</i>	Thornless Chilean Mesquite
<i>Prosopis glandulosa</i>	Texas Honey Mesquite
<i>Prosopis glandulosa</i>	Western Honey Mesquite
<i>Prosopis hybrid</i>	Mesquite hybrids
<i>Prosopis pubescens</i>	Screwbean Mesquite
<i>Prosopis velutina</i>	Velvet Mesquite
<i>Prunus caroliniana</i>	Carolina Cherry Laurel
<i>Prunus cerasifera</i>	Cherry Plum
<i>Prunus cerasifera</i> 'Atropurpurea'	Purple Leaf Plum
<i>Pyrus kawakamii</i> 'Bradford'	Bradford Pear
<i>Quercus ilex</i>	Holly Oak
<i>Quercus muhlenbergia</i>	Chinquapin Oak
<i>Quercus texana</i>	Texas Red Oak
<i>Quercus virginiana</i>	Southern Live Oak
<i>Rhus lancea</i>	African Sumac
<i>Sophora secundiflora</i>	Texas Mountain Laurel
<i>Ulmus parvifolia</i>	Evergreen Elm
<i>Vitex agnus-castus</i>	Monks Pepper

SHRUBS

BOTANICAL NAME

COMMON NAME

<i>Acacia greggii</i>	Cat-Claw Acacia
<i>Alyogyne huegelli</i>	Blue Hibiscus
<i>Ambrosia deltoidea</i>	Triangle Leaf Bursage
<i>Anisacanthus quadrifidus-wrightii</i>	Mexican Flame
<i>Aristida purpurea</i>	Purple Three Awn
<i>Atriplex canescens</i>	Four Wing Saltbush
<i>Buddleia marrubifolia</i>	Wooly Butterfly Bush
<i>Caesalpinia cacalaco</i>	Cascalote
<i>Caesalpinia gilliesii</i>	Yellow Bird of Paradise
<i>Caesalpinia mexicana</i>	Mexican Bird of Paradise
BOTANICAL NAME	COMMON NAME
<i>Caesalpinia pulcherrima</i>	Red Bird of Paradise
<i>Calliandra californica</i>	Baja Fairy Duster
<i>Calliandra eriophylla</i>	Native Fairy Duster
<i>Calylopus hartwegii</i>	Sierra Sundrop
<i>Cassia artemisioides</i>	Feathery Cassia
<i>Cassia nemophila</i>	Desert Cassia
<i>Cassia phyllodenia</i>	Silver Leaf Cassia
<i>Celtis pallida</i>	Desert Hackberry

<i>Chrysothamnus nauseosus</i>	Golden Rabbit Brush
<i>Cordia boissieri</i>	Texas Olive
<i>Cordia parvifolia</i>	Little Leaf Cordia
<i>Cottoneaster lacteus</i>	Red Clusterberry
<i>Dalea bicolor</i>	Silver Dalea
<i>Dalea frutescens</i>	Black Dalea
<i>Dalea pulchra</i>	Indigo Bush
<i>Dodonea viscosa</i>	Purple Hopseed Bush
<i>Elaeagnus ebbingei</i>	Ebbings's Silverberry
<i>Encelia farinosa</i>	Brittlebush
<i>Ephedra nevadensis</i>	Morman Tea
<i>Eremophila species</i>	Summertime Blue'
<i>Eremophila species</i>	Valentine
<i>Ericamcra laricifolia</i>	Turpentine Bush
<i>Eupatorium greggii</i>	Boothill' Eupatorium
<i>Fraxinus greggii</i>	Gregg Ash
<i>Gaura lindheimeri</i>	Gaura
<i>Justicia californica</i>	Chuparosa
<i>Justicia spicigera</i>	Mexican Honeysuckle
<i>Larrea tridentata</i>	Creosote
<i>Leucophyllum candidum</i>	Sierra Bouquet
<i>Leucophyllum candidum</i>	Silver Cloud
<i>Leucophyllum frutescens</i> 'Compacta'	Compact Texas Ranger
<i>Leucophyllum frutescens</i> 'Green Cloud'	Green Cloud Sage
<i>Leucophyllum laevigatum</i>	Chihuahuan Sage
<i>Leucophyllum langamaniae</i> 'Rio Bravo'	Rio Bravo Ranger
<i>Leucophyllum pruniosum</i> 'Sierra Bouquet'	Sierra Bouquet
<i>Leucophyllum revolutum</i> 'Sierra Magic'	Sierra Magic Mix
<i>Leucophyllum</i> x Heavenly Cloud	Heavenly Cloud Sage
<i>Leucophyllum zygophyllum</i>	Blue Ranger
<i>Leucophyllum zygophyllum</i> 'Cimarron'	Cimarron
<i>Myrtus communis</i> 'Boetica'	Twisted Myrtle
<i>Myrtus communis</i> 'Compacta'	Compact Myrtle
<i>Nandina domestica</i>	Heavenly Bamboo
<i>Nandina domestica</i> 'Nana'	Dwarf Heavenly Bamboo
<i>Pittosporum tobira</i> varieties	Mock Orange
<i>Rhus microphylla</i>	Little Leaf Sumac
BOTANICAL NAME	COMMON NAME
<i>Rhus trilobata</i>	Squaw Bush
<i>Rosmarinus officinalis</i> 'Tuscan Blue'	Tuscan Blue Rosemary
<i>Ruellia brittonia</i>	Ruellia
<i>Salvia clevelandii</i>	Chaparral Sage
<i>Salvia coccinea</i>	Scarlet Sage
<i>Salvia greggii</i>	Autumn Sage
<i>Simmondsia chinensis</i>	Jojoba
<i>Sphaeralcea ambigua</i>	Globe mallow
<i>Tagetes lemmonii</i>	Mountain Marigold
<i>Tecoma Stans</i>	Gold Star' Yellowbells'

Tecoma x 'Sunrise'	Tecoma x Sunrise
Vauquelinia californica	Arizona Rosewood
Viquiera deltoidea	Goldeneye
Zauschneria californica	Hummingbird Flower
Zinnia grandiflora	Prarie Zinnia

GROUNDCOVERS

BOTANICAL NAME	COMMON NAME
Acacia redolens 'Desert Carpet'	Desert Carpet Acacia
Baccharis 'Centennial'	Centennial Coyote Bush
Baileya multiradiata	Desert Marigold
Chrysactinia mexicana	Damianita
Convolvulus encorum	Bush Morning Glory
Dalea capitata 'Sierra Gold'	Siena Gold Dalea
Dalea greggii	Prostrate Indigo Dalea
Dyssodia pentachaeta	Golden Dyssodia
Hymenoxys aenulis	Angelita Daisy
Lantana montevidensis	Trailing Lantana
Lantana sp 'New Gold'	New Gold Lantana
Liriope muscari	Liriope
Lonicera japonea 'Halliana'	Hall's Honeysuckle
Melampodium leucanthum	Blackfoot Daisy
Oenothera berlandieri	Mexican Evening Primrose
Oenothera caespitosa	White Evening Primrose
Penstemon baccharifolius	Del Rio Penstemon (Red)
Penstemon cobaea	Foxglove (White)
Penstemon eatonii	Firecracker (Red)
Penstemon palmeri	Scented (Light Pink)
Penstemon parryi	Parry Penstemon (Pink)
Penstemon pseudospectabilis	Canyon (Rose)
Penstemon strictus	Rocky Mountain (Blue)
Psilostrophe cooperi	Paper Flower
Pyracantha koidsumii 'Santa Cruz'	Santa Cruz Pyracantha
Rosa banksiae	Lady Bank's Rose
Rosmarinus officinalis 'Prostratus'	Trailing Rosemary
BOTANICAL NAME	COMMON NAME
Ruellia brittonia 'Katie'	Dwarf Ruellia
Teucrium chamaedrys	Germander
Verbena gooddingii	Gooddingii Verbena
Verbena rigida	Sandpaper Verbena

ACCENTS

BOTANICAL NAME	COMMON NAME
Agave Americana	Century Plant
Agave colorata	Mexcal Ceniza
Agave geminiflora	Twin Flowered Agave
Agave murpheyi	Murphy's Agave
Agave parryi-huachucensis	Parry's Agave

Agave vilmoriniana	Octopus Agave
Agave weberi	Weber's Agave
Dasyliron acrotriche	Green Desert Spoon
Dasyliron longissimum	Mexican Grass Tree
Dasyliron wheeleri	Desert Spoon
Euphorbia rigida (biglandulosa)	Gopher Plant
Ferocactus acanthodes	Compass Barrell
Ferocactus wislizenii	Fishhook Barrell
Fouqueria splendens	Ocotillo
Hesperaloe parviflora	Red Yucca
Hesperaloe parviflora	Yellow Yucca
Muhlenbergia capillaris	Regal Mist Deer Grass
Muhlenbergia lindheimeri	Autumn Glow Deer Grass
Muhlenbergia rigens	Deer Grass
Nolina microcarpa	Bear Grass
Opuntia basilaris	Beavertail Prickly Pear
Opuntia microdasys	Bunny Ears Prickly Pear
Opuntia violacea 'santa rita'	Purple Pancake
Pedilanthus macrocarpus	Slipper Plant
Yucca baccatta	Banana Yucca
Yucca brevifolia	Joshua Tree
Yucca elata	Soaptree Yucca
Yucca rigida	Blue Yucca
Yucca schidigera	Mojave Yucca
Yucca sehotii	Yucca
Yucca rostrata	Beaked Yucca

VINES

BOTANICAL NAME

COMMON NAME

Antigonon leptopus	Queen's Wreath
Campsis radicans	Common Trumpet Creeper
Feijoa sellowiana	Pineapple Guava
Gelsemium sempervirens	Carolina Jasmine
BOTANICAL NAME	COMMON NAME
Hardenbergia violacea	Lilac Vine
Jasminum mesnyi	Primrose Jasmine
Lonicera japonica 'Halliana'	Hall's Honeysuckle
Macfadyena unguis-cati	Cat's Claw
Pyracantha coccinea	Firethorn
Pyracantha graberii	Pyracantha
Rosa banksiae	Lady Bank's Rose
Solanum jasminoides	Potato Vine
Trachelospermum jasminoides	Star Jasmine

4.5.9 PROHIBITED PLANT LIST

The following lists of plants are prohibited within the development:

- Baccharis sarothroides/Desert Broom
- Olea europea/Olive (fruit producing)
- Pennisetum setaceum/Fountain Grass (green variety)
- Morus alba/Fruiting Mulberry
- Tamrix spp./Tamarisk

4.6 ARCHITECTURAL STYLE

All buildings within the project will conform to the standards set forth in this Section.

4.6.1 AMERICAN TRADITIONAL

The following are identifying characteristics of American Traditional.

- Four sided architecture will be provided for all retail buildings
- Flat concrete roof tiles or metal roof
- Cupolas
- Use of brick or stone accents
- Tile accents
- Trellis with traditional columns or posts

4.6.2 BUILDING FORM

Formal box-like massing

4.6.3 ROOFS

Roof Form: predominately gable roof but flat roof with parapet to screen mechanical units is also permitted.

4.6.4 WALLS

The predominate material will be stucco with brick and stone accents. Articulation of flat building walls is required for a blank walls that exceed 100 feet in length.

4.6.5 WINDOWS

Window accents will be provided on all retail buildings, some elevations may provide shutters as accents on the windows.

4.6.6 DOORS

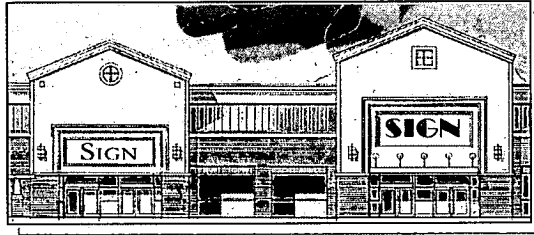
Rear entry doors will be painted to match the building.

4.6.7 DETAIL ELEMENTS

The retail buildings will provide various design elements characteristic of American Traditional architecture. Each retail building will provide some of the the following design elements:

- Cupola
- Exposed rafter tails
- Brick accents
- Traditional trim details
- Trellis with columns and posts
- Gabled ends

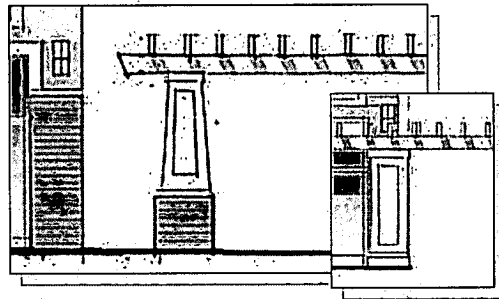
ARCHITECTURAL STYLE GUIDELINES - AMERICAN TRADITIONAL



- Simple, well-proportioned horizontal box massing with a layering of horizontal and vertical plains and volumes
- Four-sided architecture

- Roof Form: Low-pitched gable, curved or flat roof with parapets extended to shield roof-mounted equipment
- Roof Slope: 4:12 Preferred
5:12 Maximum
- Exposed rafter overhangs, where appropriate
- Flat concrete tile or standing seam metal roof materials

- Traditional trim details
- Stucco walls combined with other accent materials, such as simulated siding or shingles, brick or stone
- Stucco, when used, shall be as follows:
 - Primary Walls: Light lace or smoother
 - Trim, Stucco Eaves, Etc.: Sand or smoother
- Heavy square or tapered columns resting on brick or stone piers



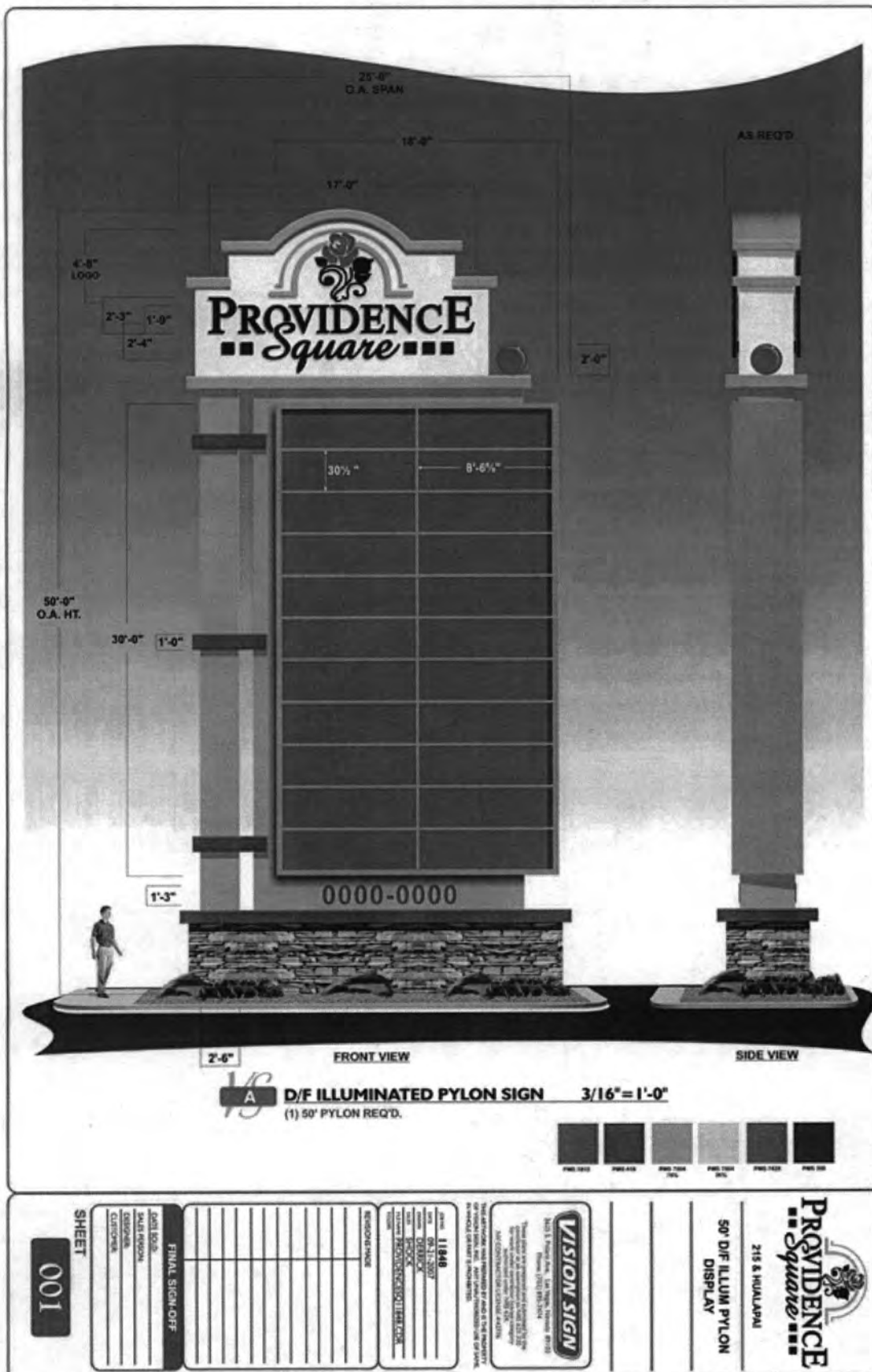
- Trellis with squared or tapered columns
- Brick or stone accents encouraged

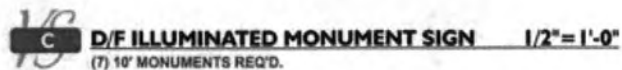
4.7 SIGNAGE

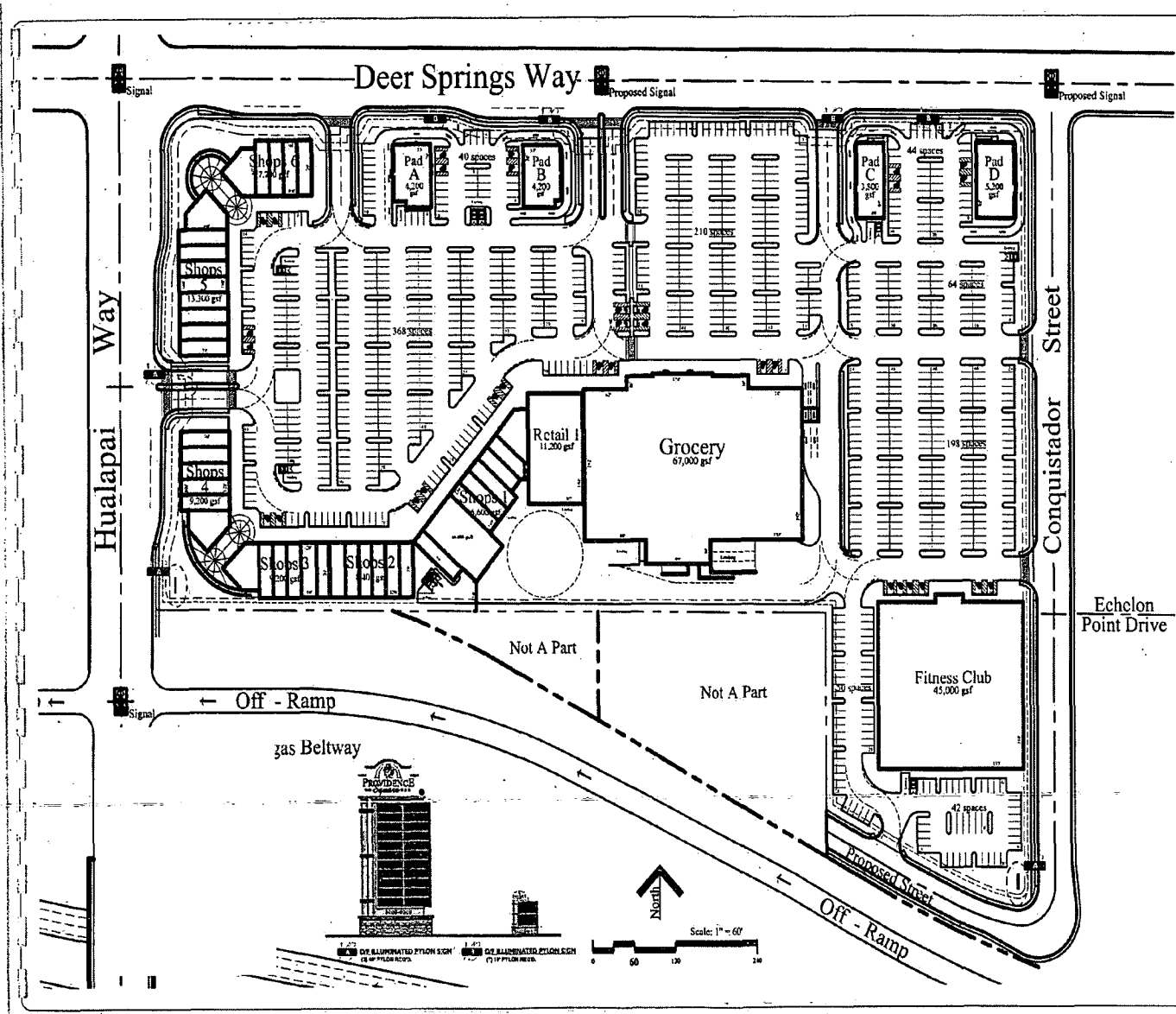
The sign program for free standing signs for Providence Square will conform to the exhibits on the following pages. All non free standing signs shall be permitted in accordance with the standards of Title 19.14 of the Las Vegas Municipal Code and follow the standards for the C-1 Limited Commercial District with the following exceptions:

- No exposed neon;
- No animated signs
- No roof-mounted signs
- Wall and window signs shall be limited to 15% per building elevation. The area of the building elevation shall be the surface area of the elevation, measured from normal grade to the top of the wall, including windows, doors and other voids but not including the area of intervening portions of the elevation that face in another direction and that create offsets, articulations, entries or other architectural features.
- Internal illumination shall be the only method of illumination permitted









215 & HUALAPAI

**SIGNAGE SITE PLAN
LOCATION**

CONCEPTUAL SITE PLAN - G-1



3425 S. Polaris Ave., Las Vegas, Nevada 89103
Phone: (702) 895-7474

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JOB NO. 11848

DATE 09-21-2007

COUNTY DERRICK

SHEET SHOCK

FILE NAME PROVIDENCESQ11848.CDR

7/24/03

REVISIONS MADE

01-29-08 ON REMOVE 60' SIGN / MAKE (3) 42' PYLON

FINAL SIGN-OFF

DATE SOLD:

SALES PERSON:

DESIGNER:

CUSTOMER:

SHEET

SITE